



IMAGE FOR REFERENCE ONLY

PROJECT NAME & ADDRESS: Garfield III, 1111 North 15th Street, Phoenix Arizona 85006

ASSOCIATED CODES AND REGULATIONS:

- 2018 INTERNATIONAL BUILDING CODE (IBC) W/ AMENDMENTS*
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2018 INTERNATIONAL FIRE CODE (IFC) W/ AMENDMENTS*
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ AMENDMENTS*
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC) W/ AMENDMENTS*
- 2018 PHOENIX BUILDING CONSTRUCTION CODE - ADMINISTRATIVE PROVISIONS
- 2018 UNIFORM PLUMBING CODE (UPC) W/ AMENDMENTS*
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPSCC)
- 2017 NATIONAL ELECTRICAL CODE (NEC) NFPA-70 W/ AMENDMENTS*
- FHA "SAFE HARBORS"; FAIR HOUSING ACT DESIGN MANUAL AND ICC/ANSI A117.1 (2003)
- ASME A17.1-2016 SAFETY CODE FOR ELEVATORS AND ESCALATORS
- ASME A17.6-2010 SAFETY CODE FOR ELEVATORS AND ESCALATORS
- ASME 17.7-2007 PERFORMANCE-BASED SAFETY CODE FOR ELEVATORS AND ESCALATORS
- 2009 - ICC/ANSI A117.1

*REFERENCED AMENDMENTS ARE CITY OF PHOENIX.

DEFERRED SUBMITTALS:

Plans and specifications for deferred submittal items shall be submitted to the Planning & Development Department after being reviewed for conformance with the building or structural design by the registered design professional in responsible charge and shall have PDD approval prior to erection, construction or installation in the field. The registered design professional in responsible charge shall provide a notation on all deferred documents that acknowledges review of such documents. A separate permit for the installation of a deferred item shall not be required unless specified in this CODE. In all cases, deferred submittal documents shall bear a stamp or note from the engineer and architect of record indicating that they have reviewed the documents for general conformance with the design of the building PRIOR to submitting them to the building inspector or plan reviewer.

Deferred Submittal for each elevator or escalator and its associated equipment is required to be submitted to elevator.inspector@phoenix.gov. no work shall commence until the Deferred Submittal has been approved by the City of Phoenix Elevator section. The design shall comply with the applicable, adopted versions of the following code: ASME A17.1 ASME A17.3, NEC, IBC, IEBC, IMC and/or IFC.

DEFERRED SUBMITTALS:

- FIRE ALARM
- PREFABRICATED WOOD TRUSSES
- SIGNAGE
- NFPA 13 AUTOMATIC SPRINKLER SYSTEM, CLASS I STANDPIPE
- ELEVATOR PLANS
- EMERGENCY ACCESS PLAN
- EMERGENCY RESPONDER RADIO COVERAGE

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- AE101.4 LEVEL 4 FLOOR PLAN - PHASE 3
- AE200 EXTERIOR ELEVATIONS - PHASE 3
- AE400 UNIT PLANS

ARCHITECT

Schematic Only
Not For Construction
or Recording

PROJECT

GARFIELD III
1111 North 15th Street
Phoenix, AZ, 85006

GARFIELD III

PROJECT TEAM

OWNER

GARFIELD HOUSING PHASE II
1110 N 16TH STREET, LLC
C/O JAMES P. DANAHER
1708 SOUTH MAIN STREET,
FAIRFIELD, IOWA 52556

ARCHITECT

DEKKER/PERICH/SABATINI
3110 N. CENTRAL AVENUE, SUITE G-140
PHOENIX, ARIZONA 85012
(505) 761-9700

LANDSCAPE

COLLABORATIVE V DESIGN STUDIO INC. PK ASSOCIATES, L.L.C.
7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, ARIZONA 85251
480-347-0590

STRUCTURAL

7434 E. McDONALD DR.
SCOTTSDALE, ARIZONA 85250
480-922-8854

MECHANICAL

NP MECHANICAL INC.
1717 W. NORTHERN AVE., SUITE 116
PHOENIX, ARIZONA 85021
602-249-6311

PLUMBING

NP MECHANICAL INC.
1717 W. NORTHERN AVE., SUITE 116
PHOENIX, ARIZONA 85021
602-249-6311

ELECTRICAL

HAWKINS DESIGN GROUP INC.
1140 WEST HARWELL RD.
GILBERT, ARIZONA 85233
480-813-9000

REVISIONS

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- △
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DATE: 3/22/2024

PROJECT NO: 17-0711.006

ISSUE PURPOSE

ADOH
SUBMITTAL

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2018.
C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF PHOENIX STANDARDS.
D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
E. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
F. PROVIDE CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP.
G. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH VISIBILITY TRIANGLES REQUIREMENTS, THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE VISIBILITY TRIANGLES.
H. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
I. CARD READERS/KEY PADS, PUSH BUTTONS, AND CALL BOXES TO BE LOCATED ON AN ACCESSIBLE ROUTE.
J. THE SITE GRADING SHALL BE CONSTRUCTED TO DRAIN AWAY FROM BUILDINGS, REFER TO CIVIL.
K. REFER TO CIVIL FOR DRAINAGE.
L. FUTURE PHASE III SITE AREA WILL BE DUSTPROOFED.
M. SEE ATTACHED ALTA FOR ALL EASEMENT.

PARKING DATA

PHASE 1 REQUIRED: 1 PARKING SPACE PER UNIT UNDER 600 SF = 85 UNITS X 1 = 85 PARKING SPACES
1.5 PARKING SPACES PER 1 & 2 BEDROOM = 15 UNITS X 1.5 = 22.5 PARKING SPACES
TOTAL REQUIRED PARKING SPACES = 108 PARKING SPACES
ACCESSIBLE PARKING SPACES 2% OF TOTAL = 4 ACCESSIBLE PARKING SPACES
STANDARD PARKING SPACES = 104 PARKING SPACES
TOTAL PROVIDED PHASE 1 = 108 PARKING SPACES
PHASE 2 (UNDER CONSTRUCTION) & 3 PARKING CALCULATION: 2A-699-21 - USE PERMIT TO REDUCE PARKING FOR SPECIAL NEEDS POPULATION TO 60 SPACES FOR 120 DWELLING UNITS. APPROVED FEBRUARY 24, 2022; STIPULATIONS:
1. 1.2 YEARS TO APPLY AND PAY FOR BUILDING PERMITS.
2. PER SITE PLAN DATE STAMPED DECEMBER 16, 2021, PERTAINING TO THE LOCATION AND SCHEDULE OF THE PARKING AREA.
PHASE 2 (UNDER CONSTRUCTION) STANDARD PARKING SPACES PROVIDED: 30 (8 designated on street parallel parking)
ACCESSIBLE PARKING SPACES REQUIRED 2% OF TOTAL 90 UNITS X 2% = 1.8
ACCESSIBLE PARKING SPACES PROVIDED: 2 COMPACT PARKING SPACES
PHASE 3 PARKING SPACES PROVIDED: 32 (5 designated on street parallel parking)
ACCESSIBLE PARKING SPACES REQUIRED 2% OF TOTAL 60 UNITS X 2% = 1.2
ACCESSIBLE PARKING SPACES PROVIDED: 1
LEGAL DESCRIPTION LOTS 1 AND 2, GARFIELD COMMON APARTMENTS, ACCORDING TO THE PLAT RECORDED AS BOOK 1170 OF MAPS, PAGE 26, IN THE OFFICE OF THE COUNTY RECORDING OF MARICOPA COUNTY, ARIZONA.

LOT COVERAGE

SITE ACREAGE: Site Area (NET) Lot 1: 135,078 sq.ft. (3.1010 AC.) +/- Lot 2: 48,207 sq.ft. (1.102 AC.) +/- Site Area (GROSS): 243,392 sq.ft. (5.57 AC.) +/-
Phase 1 (EXISTING) (NET): 135,078 sq.ft. (3.1010 AC.) +/-
Phase 2 (UNDER CONSTRUCTION) (NET): 23,146 sq.ft. (.53 AC.) +/-
TOTAL NET SITE AREA: 158,224 sq.ft. (3.602 AC.) +/-
LOT COVERAGE 50% MAX LOT COVERAGE PROVIDED: PHASE 1 - 49,292 SQ.FT. PHASE 2 - 15,185 SQ.FT. PHASE 3 - 13,222 SQ.FT. TOTAL LOT COVERAGE = 77,699 SQ.FT. TOTAL NET SITE AREA = 158,224 SQ.FT. (42.42%)
COMMON AREAS (MULTIFAMILY) OPEN SPACE REQUIRED: 5% GROSS SITE AREA PHASE 1 COMMON AREAS PROVIDED 25,718 SQ.FT. PHASE 2: 25,718 SQ.FT. / 135,078 SQ.FT. = .190 (19%) PHASE 2 AND PHASE 3 COMMON AREAS PROVIDED 6,207 SQ.FT. PROVIDED: 6,207 SQ.FT. / 48,847 SQ.FT. = .127 (13%)
PHASE 2 PROGRAMMED OPEN SPACE: (REFER TO LANDSCAPE PLAN FOR MORE INFORMATION) SYNTHETIC GRASS LAWN GRILL STATION SEATING AREA STABILIZED GRANITE DOG WALK SMOKING AREA
PHASE 3 BOCCO COURT GRILL STATION SEATING AREA BIKE RACKS SMOKING AREA

PROJECT DATA

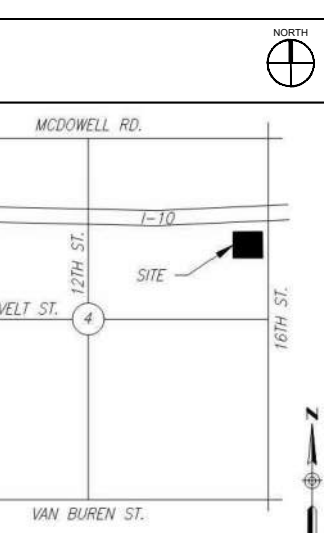
PROPERTY OWNER: JIM DANAHER, CBC FINANCIAL (Contact Reid Butler)
CO-DEVELOPER: Reid Butler, Butler Housing Company, Inc., 42 West Mariposa Street, Phoenix, AZ, 85006, reid@butlerhousing.com
PROPERTY ADDRESS: 1111 North 15th Street, Phoenix, AZ, 85006
ASSESSOR PARCEL NO.: #116-20-097
SPRINKLED: YES, NFPA 13
BUILDING OCCUPANCY: R-2
CONSTRUCTION TYPE: TYPE IA AT LEVEL 1, TYPE VA AT LEVELS 2 TO 4
PROPERTY ZONING: R-5 HP (a) Subdivision
REQUIRED ZONING BUILDING SETBACKS (PHASE I, II & III) PER R-5 DEVELOPMENT OPTION (a) Subdivision
FRONT YARD (16th Street): 20'
SIDE YARD (10' on Portland St. & 5' on North Pl.) REAR YARD (15th Street): 15'
PROVIDED AND PROPOSED BUILDING SETBACKS: FRONT YARD (16th Street): 51'-0" SIDE YARD (Portland St. & North Pl.): 15' & 29'-8" REAR YARD (15th Street): 15'
BUILDING HEIGHT: PHASE 2 (UNDER CONSTRUCTION) ALLOWED 48'-0" TO TOP OF RIDGE. PROPOSED 47'-0" TO TOP OF RIDGE.
DENSITY (ALLOWED 43.5 DU PER ACRE) (43.5 X 5.57 = 242.73 OR 242 DU)
DENSITY (PROVIDED): PHASE 1 - 100 DU / 57AC = 17.9 AC. PHASE 2 - ADDS 60 DU FOR A TOTAL 160 DU. 160 DU / 1.57 AC = 28.7 PHASE 3 - ADDS 60 DU FOR A TOTAL 220 DU. 220 DU / 5.57 AC = 39.49
DWELLING UNITS: STUDIO - 12 PHASE 2 36 PHASE 3 ONE BEDROOM - 48 PHASE 2 24 PHASE 3 TOTAL 60 PHASE 2 60 PHASE 3 OVERALL TOTAL - 60 PROPOSED DU. EXISTING PHASE 1 AND 2 HAS 160 DU. TOTAL 220 DU

PROJECT NARRATIVE

Garfield III is the proposed last phase to Garfield II (Under Construction) and existing Garfield Commons delivered in (2) two phases of four-story apartments for Senior Veterans. Garfield III is proposed as 60 Dwelling Units of studio and one-bedroom units. The overall building configuration is three levels of Type V, 1-hour R-2 Occupancy over Type I, S-2, B, and A-3 occupancies at grade. The ground level includes an open parking area, Leasing Office, 20H Functions, Resident Amenity (Mail, Parcel Post Lockers, Community Room, and Fitness). There is a central laundry room provided per residential level. Residential levels have open corridors.

REZONING STIPULATIONS FROM PHO-1-23--Z-136-05

- 1. The development shall be in general conformance to the site plan and elevations date stamped September 9, 2005 as approved or modified by the Planning and Development Department.
2. The Phase II and III development areas, located on the western approximately 1.5 gross acres of the site, shall be in general conformance with the site plan date stamped January 27, 2023, as modified by the following stipulations and approved by the Planning and Development Department.
3. The developer shall retain the existing detached sidewalk streetscape zone along 15th Street and replenish with trees and shrubs, as approved by the Planning and Development Department. The developer shall provide and maintain a watering drip system to sustain trees and landscaping along the streetscape located in right-of-way, as approved by the Planning and Development Department.
4. The property owner shall record documents that disclose to the purchasers of property within the development the existence and operational characteristics of Phoenix Sky Harbor International Airport. The form and content of such documents shall be reviewed and approved by the City Attorney.
5. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 Waiver of Claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.



REFERENCE LETTERS

- 1. ARIZONA DEPARTMENT OF HOUSING - LOW INCOME HOUSING TAX CREDIT APPLICATION, PLANNING AND ZONING VERIFICATION, DATE: 03/25/22
2. CITY OF PHOENIX - PLANNING AND DEVELOPMENT DEPARTMENT, GARFIELD SENIOR HOUSING/ZONING, DATE 9/27/2019
3. REFERENCE THE APPROVED SITE PLAN FROM 2012, ATTACHED.

SITE PLAN GENERAL NOTES

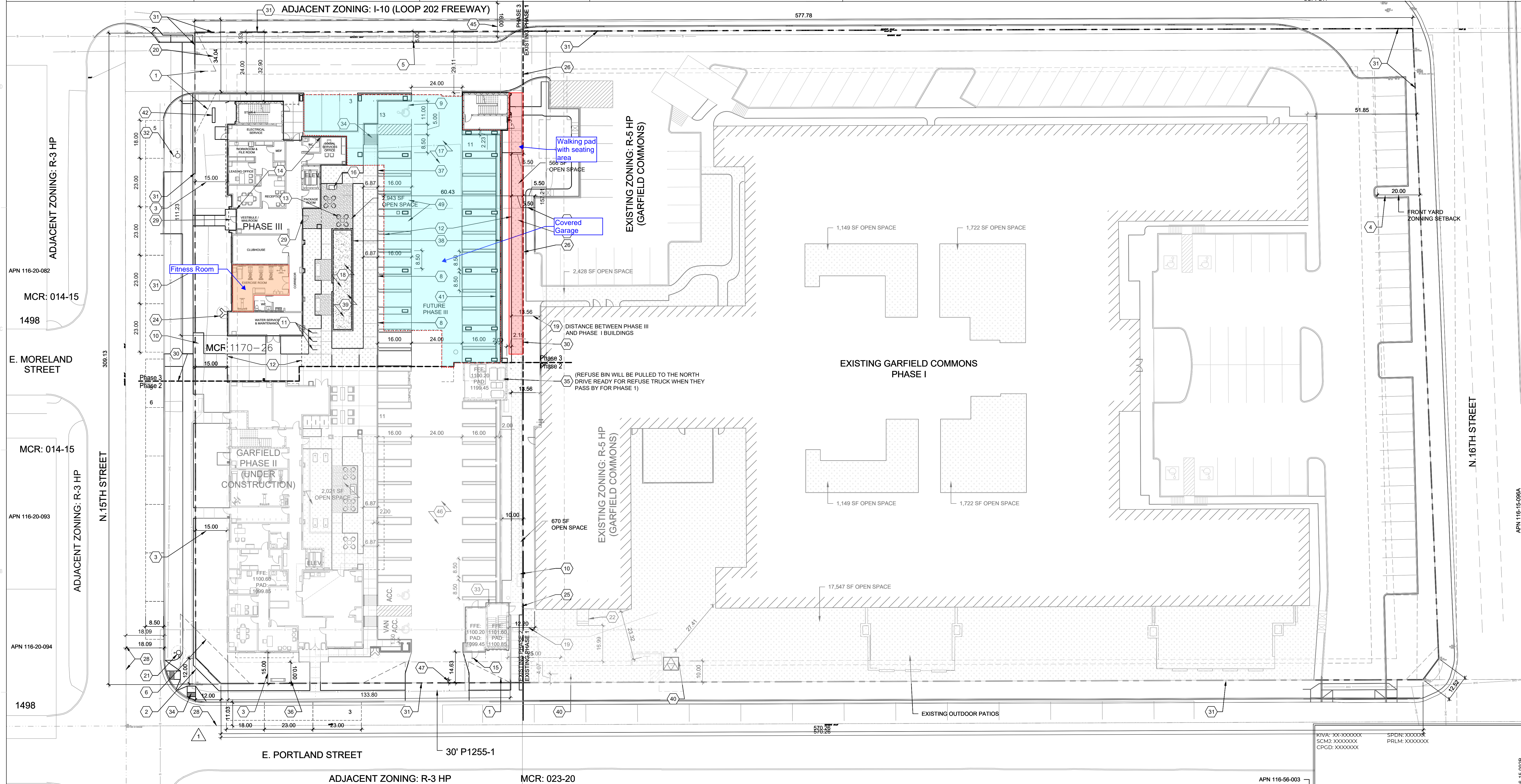
- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
B. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
C. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT 36 PHASE 3
D. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.

UNDER SEPARATE SUBMITTAL

- A. AN EMERGENCY ACCESS PERMIT IS REQUIRED - SEPARATE SUBMITTAL
B. AN NFPA 13 SPRINKLER SYSTEM IS REQUIRED - SEPARATE SUBMITTAL
C. A FIRE FLOW TEST DATED WITHIN 365 DAYS IS REQUIRED FOR SITE PLAN APPROVAL.
D. A FIRE ALARM SYSTEM IS REQUIRED - SEPARATE SUBMITTAL.

VICINITY MAP

- E. AN EMERGENCY RESPONDER RADIO COVERAGE CERTIFICATE IS REQUIRED TO BE OBTAINED FROM THE PHOENIX FIRE DEPARTMENT FOR BUILDINGS THAT EXCEED 50,000 SF - 602.282.6771.
F. A STANDPIPE SYSTEM IS REQUIRED AND PROVIDED IN THE BUILDING.
H. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
I. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE.
J. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
K. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.



A1 SITE PLAN 1" = 20'-0" LEGEND COMMON AREAS PER 703.B.4 ADA ACCESS ROUTE

AUTHORIZE MINOR AMENDMENT THE PLAN IN THE FUTURE: I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN. SIGNATURE OF COPYRIGHT OWNER PRINTED NAME OF COPYRIGHT OWNER DATE

KEYNOTE 1. 10'X20' VISIBILITY TRIANGLE 2. 12'X12' RIGHT OF WAY TRIANGLE 3. 15' REAR YARD BUILDING/LANDSCAPE ZONING SETBACK 4. 20' FRONT YARD BUILDING/LANDSCAPE ZONING SETBACK 5. 5' SIDE YARD BUILDING/LANDSCAPE ZONING SETBACK 6. 33'X33' VISIBILITY TRIANGLE 7. 5.5' BUILDING SETBACK FROM IMAGINARY PROPERTY LINE 8. 6" CURB 9. ACCESSIBLE PARKING; 10. BENCH 11. BIKE RACK, REFER TO LANDSCAPE SETBACK 12. BUILDING ABOVE 13. PICNIC AREA 14. BUILDING FOOTPRINT 15. BUILDING OVERHANG 16. MOBILE PROPANE GRILL ISLAND 17. CONCRETE PAVING UNDER BUILDING 18. COURTYARD 19. DISTANCE FROM EXISTING BUILDING 20. DRIVEWAY AND ACCESS EASEMENT 21. EXISTING FIRE HYDRANT 22. EXISTING STAIR 23. FENCE, REF: BI/AS501 24. FIRE DEPARTMENT CONNECTION (FDC) 25. GATE, REF: CS/AS501 26. IMAGINARY PROPERTY LINE AND PHASE LINE 27. MAIN ENTRY 28. MONUMENT LINE 29. PEDESTRIAN ACCESS 30. PHASE LINE 31. PROPERTY LINE 32. FIRE HYDRANT 33. STANDPIPE 34. RAMP 35. REFUSE TERMINATION ROOM, 36. 10'-0" SIDE YARD BUILDING/LANDSCAPE ZONING SETBACK 37. SIDEWALK WITH TURNDOWN EDGE, 38. SITE WALL 32", 39. BOCCO COURT COURT 40. TRANSFORMER FOR PHASE 2 41. 6" HEADER CURB 42. MONUMENT SIGN, SIGNAGE WILL BE APPROVED UNDER SEPARATE PERMIT 43. COVERED LOUNGE SEATING AREA 44. TRANSFORMER FOR PHASE III 45. 16 FT PUE ALONG NORTH SIDE OF THE PROPERTY; PER SURVEY, 16 FT ALLEY ABANDON, EMT DOC. 2013-1093423, M.C.R. 46. RETENTION TANK WITH DRYWELL, REFER TO CIVIL 47. SIDEWALK EASEMENT *RECORDED PER SEPARATE INSTRUMENT 48. DOC WALK AREA 49. EV READY PARKING SPACES

ADJACENT ZONING: R-3 HP MCR: 023-20 APN 116-56-003

CITY OF PHOENIX PROJECT IDENTIFICATION NUMBERS: KIVA: XXXXXXXX SCAD: XXXXXXXX CRCD: XXXXXXXX SPON: XXXXXXXX PRLM: XXXXXXXX DRAWN BY: AG REVIEWED BY: JAF DATE: 3/22/2024 PROJECT NO.: 17-0711.006 DRAWING NAME: CONCEPTUAL SITE PLAN SHEET NO.: AS101

SEAL Schematic Only Not For Construction or Recording PROJECT GARFIELD III 1111 North 15th Street Phoenix, AZ, 85006 ADOH SUBMITTAL REVISIONS KIVA PROJECT #: XXXXXXXX SDV #: XXXXXXXX PAPP #: XXXXXXXX DRAWN BY: AG REVIEWED BY: JAF DATE: 3/22/2024 PROJECT NO.: 17-0711.006 DRAWING NAME: CONCEPTUAL SITE PLAN SHEET NO.: AS101

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GARFIELD III
 1111 North 15th Street
 Phoenix, AZ, 85006

ADOH
 SUBMITTAL

REVISIONS

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DRAWN BY AG
 REVIEWED BY JAF
 DATE 3/22/2024
 PROJECT NO 17-0711.006

DRAWING NAME
LEVEL 1 FLOOR PLAN - PHASE 3
 SHEET NO
AE101.1

GENERAL SHEET NOTES

- A. DIMENSIONS AT DOORS AND WINDOWS ARE TO CENTERLINE, UNLESS NOTED OTHERWISE.
- B. PROVIDE BACKING FOR ATTACHING WALL MOUNTED ITEMS.
- C. SEE ENLARGED PLANS FOR DIMENSIONS NOT SHOWN ON THIS SHEET.
- D. CLEAR DIMENSIONS ARE FROM FACE OF FINISHED WALL.
- E. REFER TO AE310 FOR WALL TYPES.
- F. REFER TO AE661 FOR WINDOW AND DOOR TYPES.
- G. REFER TO AE401 AND AE403 FOR UNIT TYPES.

SHEET KEYNOTES

REFERENCE KEYNOTES

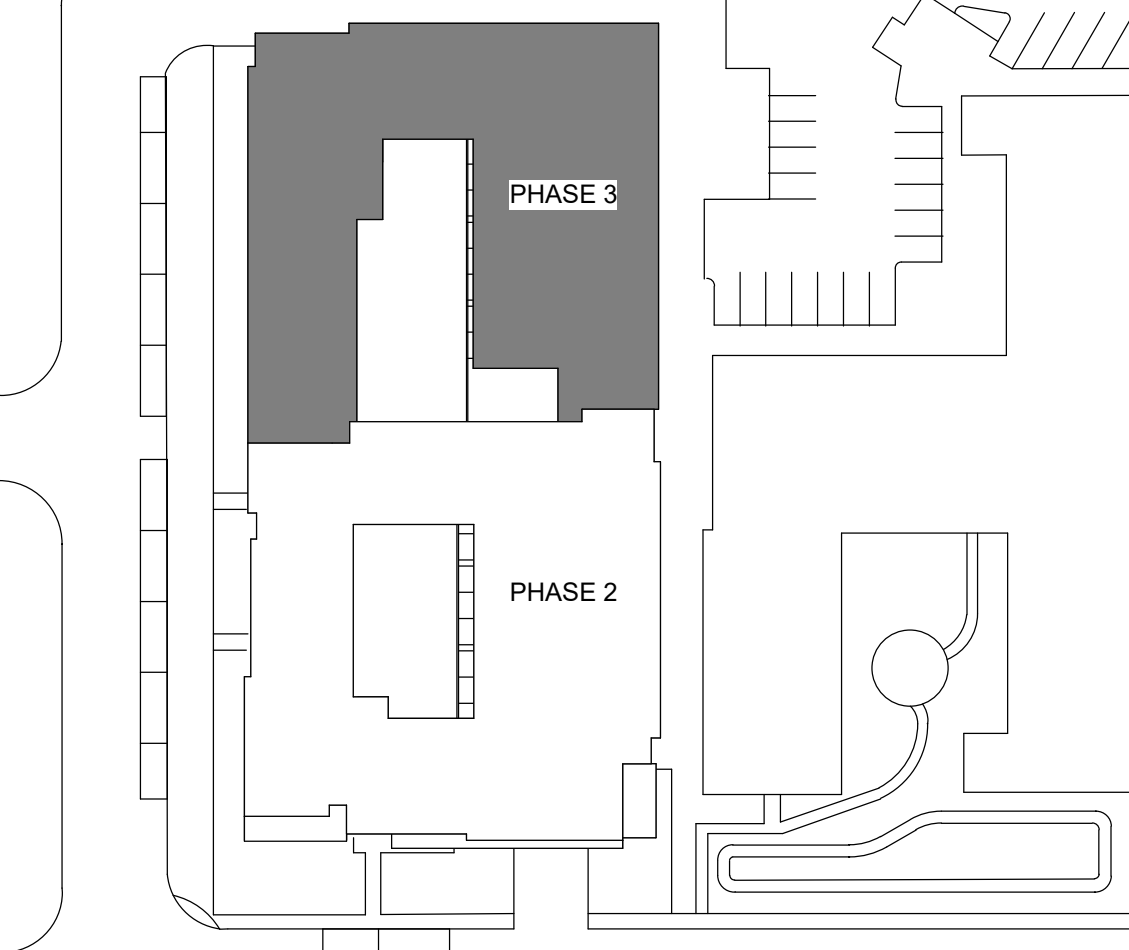
LEGEND

- 1- TRAFFIC COATING
- 2- PAVERS

GENERAL LEGEND

- W WASHER N.I.C. OWNER PROVIDED, OWNER INSTALLED
- D DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED
- SWD STACKABLE WASHER DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED

KEY PLAN



A1 LEVEL 1 FLOOR PLAN - PHASE 3
 3/16" = 1'-0"

2/11/2024 9:35:46 AM

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GARFIELD III
1111 North 15th Street
Phoenix, AZ, 85006

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REVISIONS

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DRAWN BY: AG
REVIEWED BY: JAF
DATE: 3/22/2024
PROJECT NO: 17-0711.006

DRAWING NAME
LEVEL 2, FLOOR PLAN - PHASE 3

SHEET NO
AE101.2

GENERAL SHEET NOTES

- A. DIMENSIONS AT DOORS AND WINDOWS ARE TO CENTERLINE, UNLESS NOTED OTHERWISE.
- B. PROVIDE BACKING FOR ATTACHING WALL MOUNTED ITEMS.
- C. SEE ENLARGED PLANS FOR DIMENSIONS NOT SHOWN ON THIS SHEET.
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SHEET KEYNOTES

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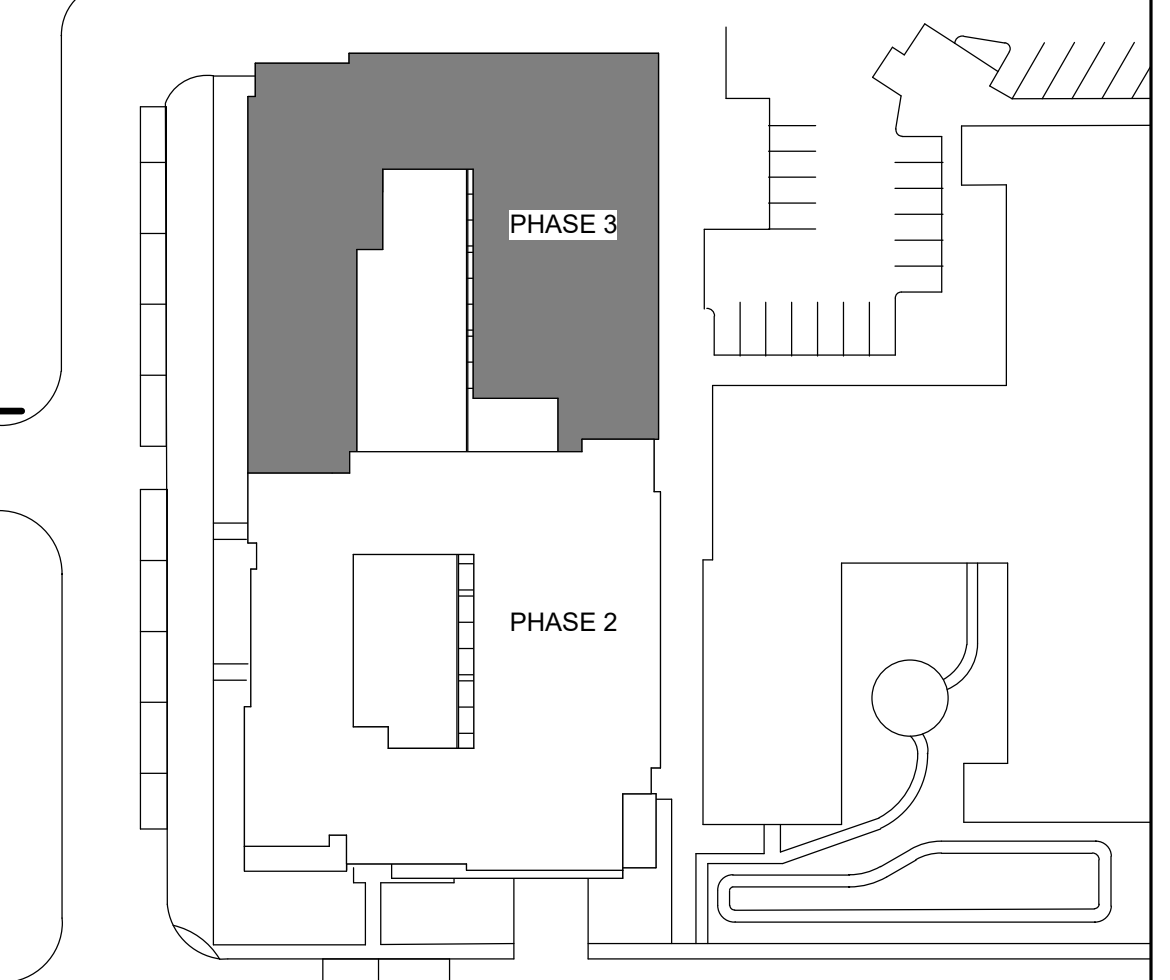
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- SWD STACKABLE WASHER DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED

KEY PLAN



A1 LEVEL 2, FLOOR PLAN - PHASE 3
3/16" = 1'-0"

1/18/2024 8:04:17 AM

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1111 North 15th Street
Phoenix, AZ, 85006

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REVIEWED BY JAF
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DRAWING NAME
LEVEL 3, FLOOR PLAN - PHASE 3
SHEET NO
AE101.3

GENERAL SHEET NOTES

- A. DIMENSIONS AT DOORS AND WINDOWS ARE TO CENTERLINE, UNLESS NOTED OTHERWISE.
- B. PROVIDE BACKING FOR ATTACHING WALL MOUNTED ITEMS.
- C. SEE ENLARGED PLANS FOR DIMENSIONS NOT SHOWN ON THIS SHEET.
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SHEET KEYNOTES

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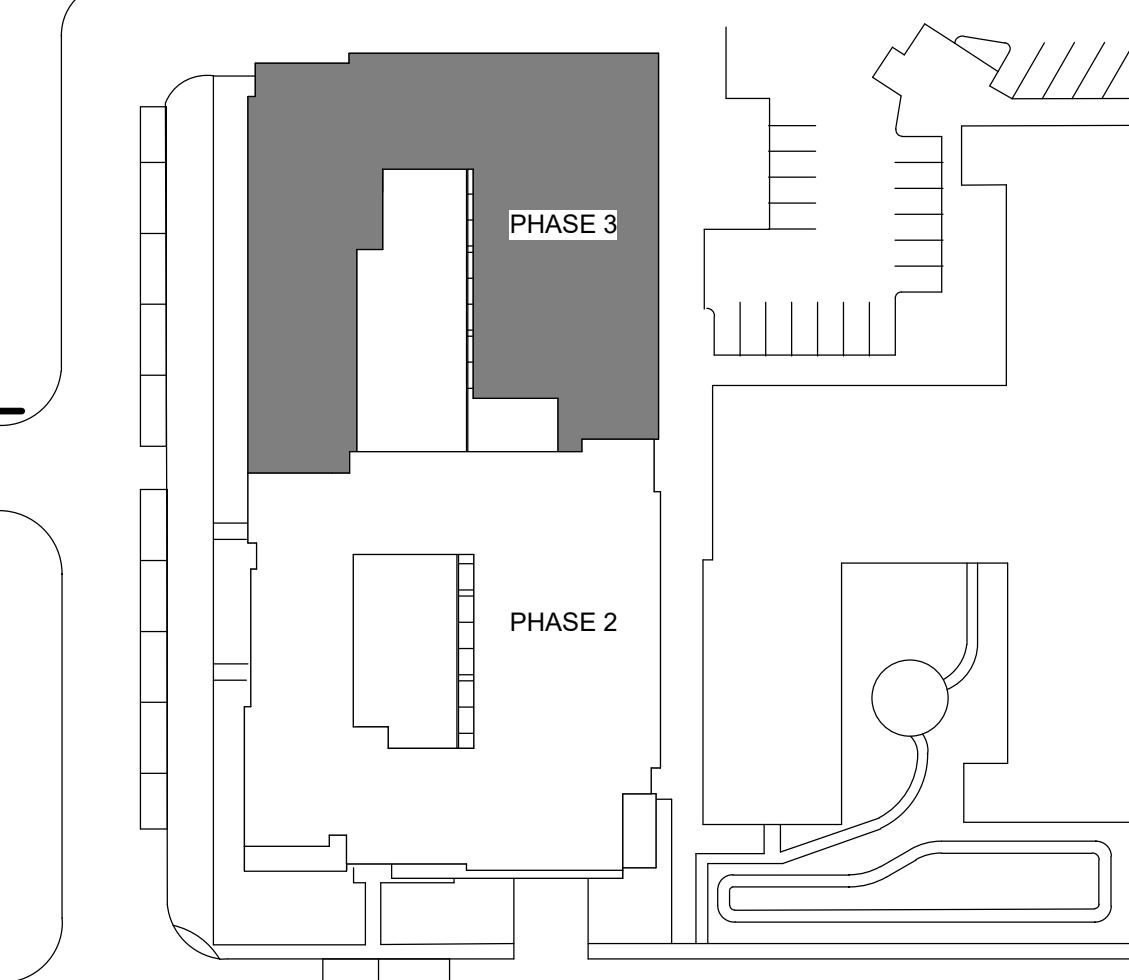
LEGEND

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GENERAL LEGEND

- W WASHER N.I.C. OWNER PROVIDED, OWNER INSTALLED
- D DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED
- SWD STACKABLE WASHER DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED

KEY PLAN



A1 LEVEL 3, FLOOR PLAN - PHASE 3
3/16" = 1'-0"

1/18/2024 8:04:17 AM

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PROJECT

GARFIELD III
1111 North 15th Street
Phoenix, AZ, 85006

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SUBMITTAL

REVISIONS

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- △
- △
- △
- △

DRAWN BY AG
REVIEWED BY JAF
DATE 3/22/2024
PROJECT NO 17-0711.006

DRAWING NAME
LEVEL 4, FLOOR PLAN - PHASE 3

SHEET NO
AE101.4

GENERAL SHEET NOTES

- A. DIMENSIONS AT DOORS AND WINDOWS ARE TO CENTERLINE, UNLESS NOTED OTHERWISE.
- B. PROVIDE BACKING FOR ATTACHING WALL MOUNTED ITEMS.
- C. SEE ENLARGED PLANS FOR DIMENSIONS NOT SHOWN ON THIS SHEET.
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- E. REFER TO AE310 FOR WALL TYPES.
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SHEET KEYNOTES

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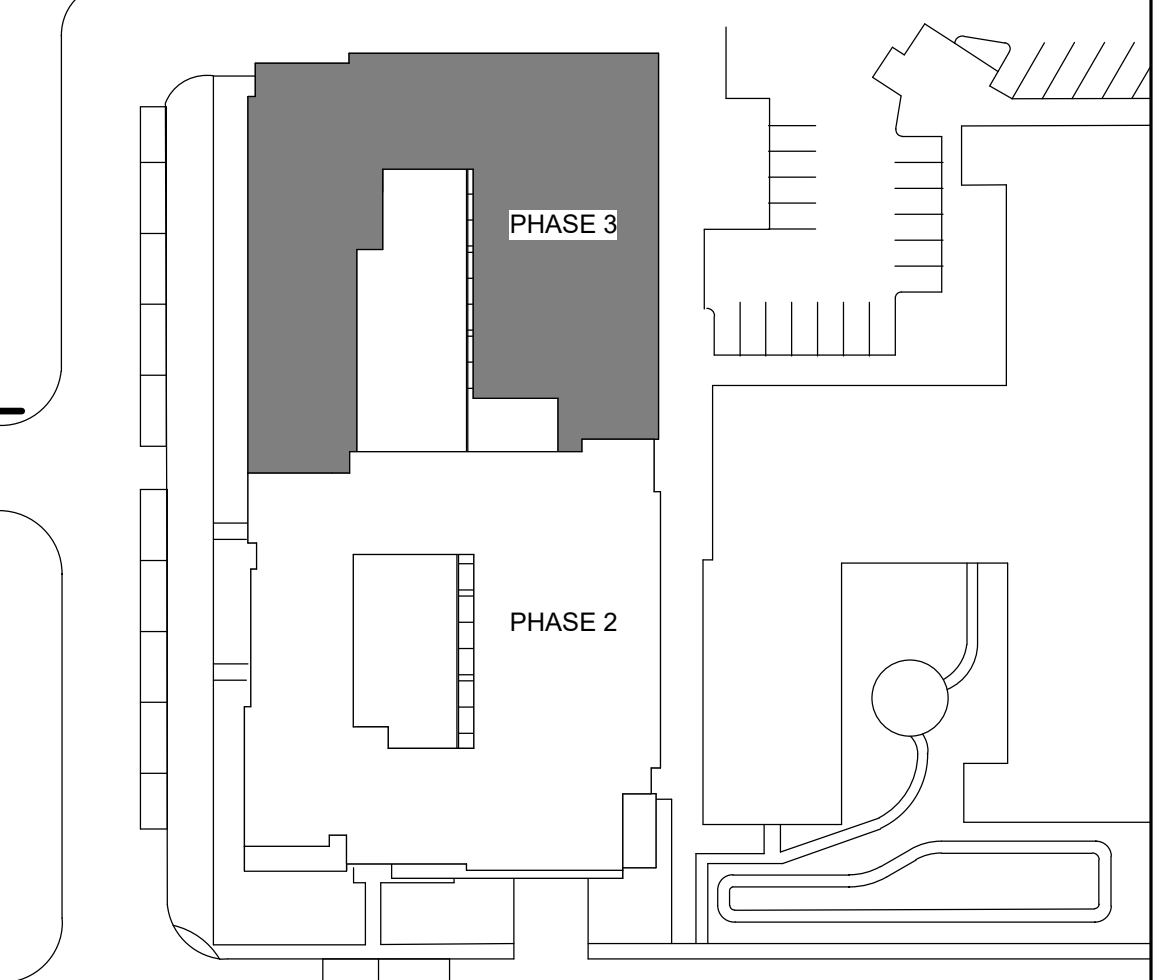
LEGEND

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- 2- PAVERS

GENERAL LEGEND

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- D DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED
- SWD STACKABLE WASHER DRYER N.I.C. OWNER PROVIDED, OWNER INSTALLED

KEY PLAN



A1 LEVEL 4, FLOOR PLAN - PHASE 3
3/16" = 1'-0"

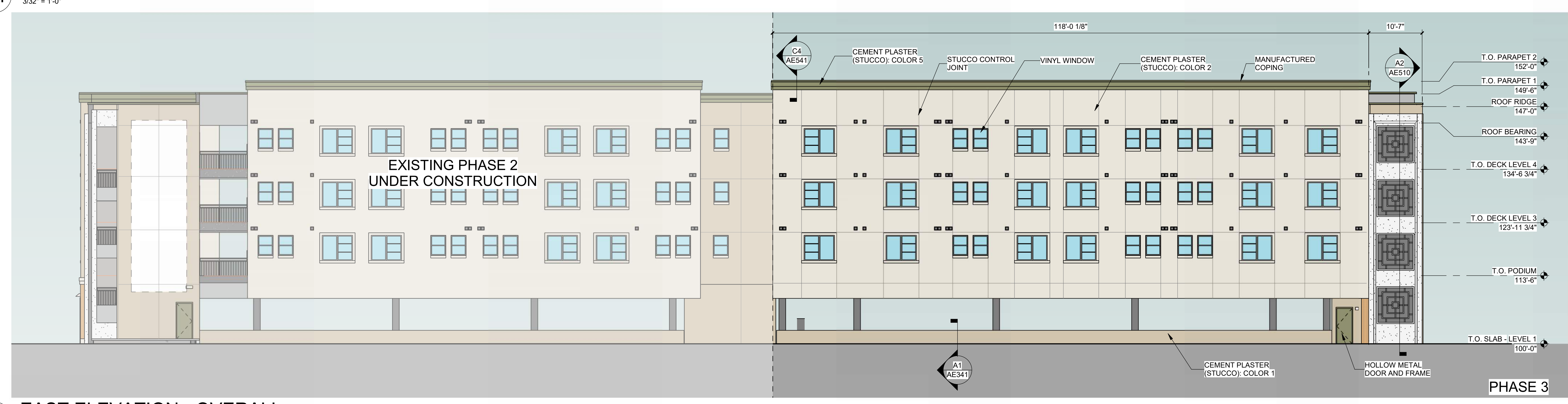
1	2	3	4	5	6
GENERAL SHEET NOTES A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE. B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS. C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.	SHEET KEYNOTES 	REFERENCE KEYNOTES 04 4313-A2 MASONRY STONE VENEER 05 5213-B01 HANDRAIL, 1 1/2" Ø STANDARD PIPE 07 7100-A MANUFACTURED COPING 08 1113-A HOLLOW METAL DOOR AND FRAME 08 5313-A VINYL WINDOW 09 2400-A1 CEMENT PLASTER (STUCCO), COLOR 1 09 2400-A2 CEMENT PLASTER (STUCCO), COLOR 2 09 2400-A3 CEMENT PLASTER (STUCCO), COLOR 3 09 2400-A5 CEMENT PLASTER (STUCCO), COLOR 5 09 2400-B STUCCO CONTROL JOINT 23 0000-E EXHAUST VENT, RE: MECHANICAL 26 0000-A LIGHT FIXTURE	LEGEND 	KEY PLAN	

DEKKER PERICH SABATINI
 Architecture in Progress

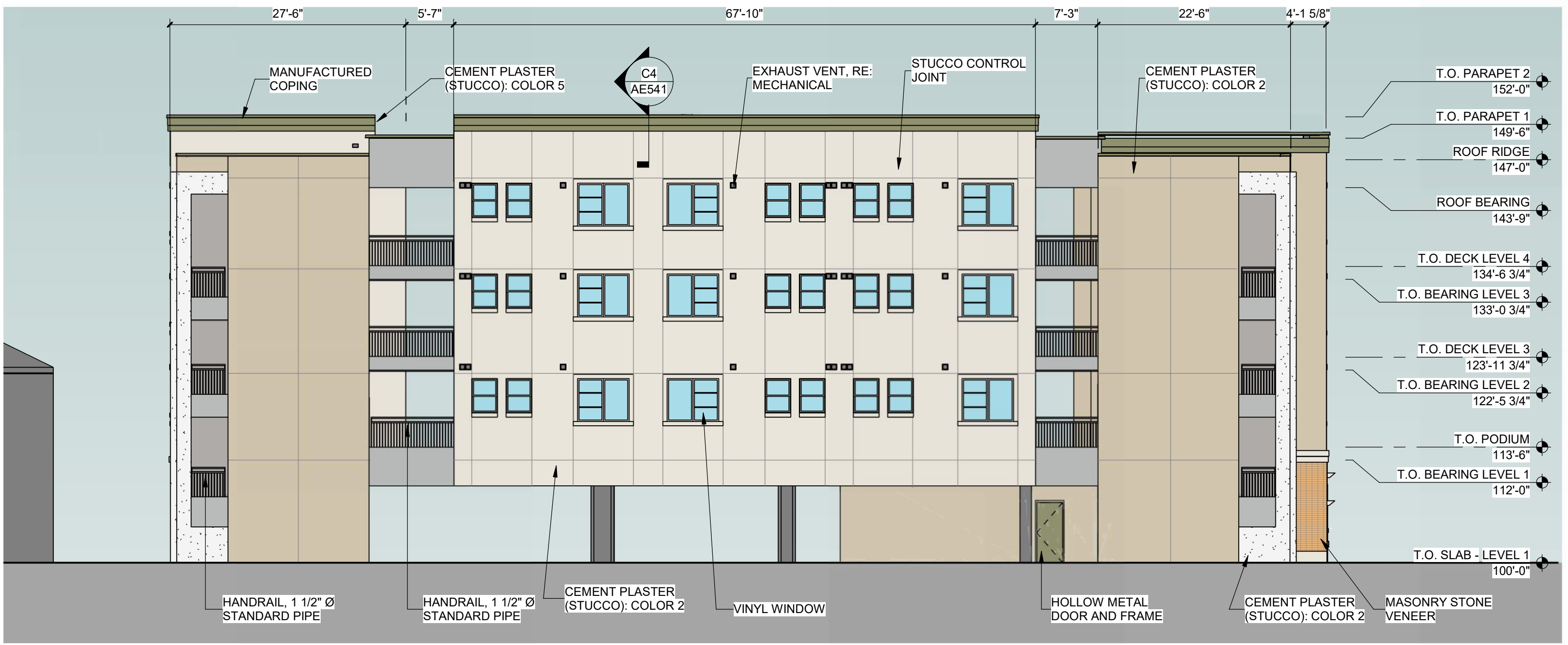
SEAL
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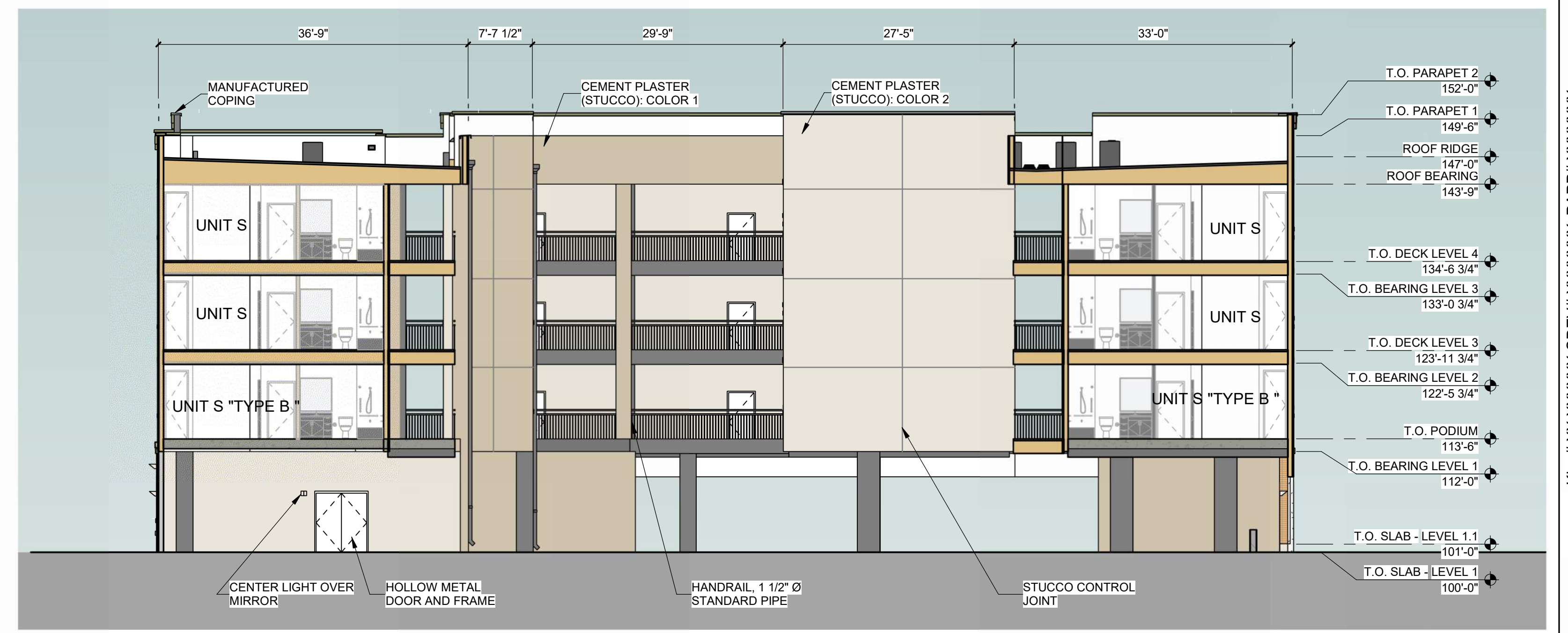
C1 WEST ELEVATION - OVERALL
3/32" = 1'-0"



B1 EAST ELEVATION - OVERALL
3/32" = 1'-0"



A1 NORTH ELEVATION
3/32" = 1'-0"



A4 SOUTH ELEVATION
3/32" = 1'-0"

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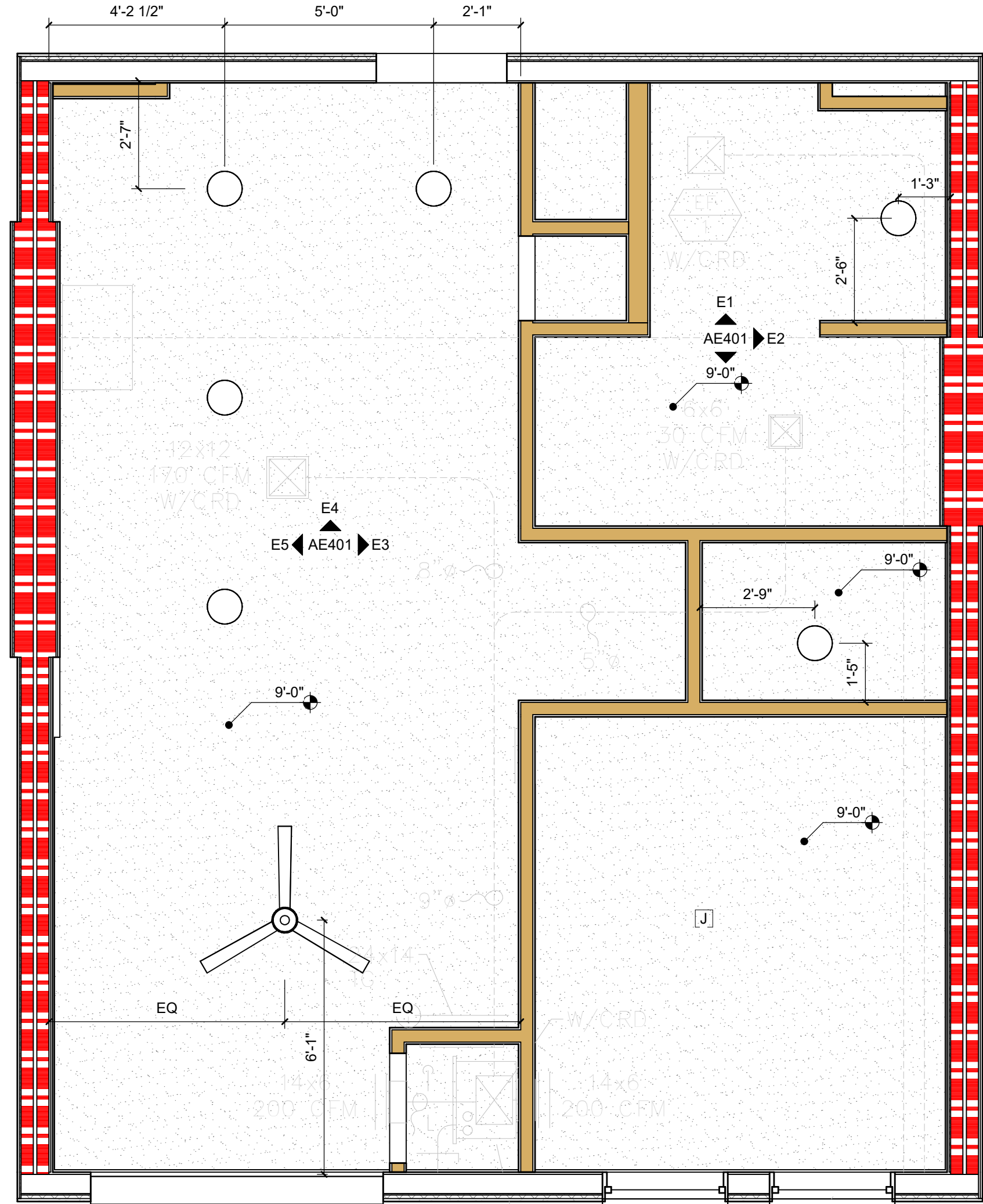
REVISIONS
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DRAWN BY: AG
 REVIEWED BY: 3/22/2024
 DATE: 02/01/2024
 PROJECT NO: 17-0711.006
 DRAWING NAME: EXTERIOR ELEVATIONS - PHASE 3

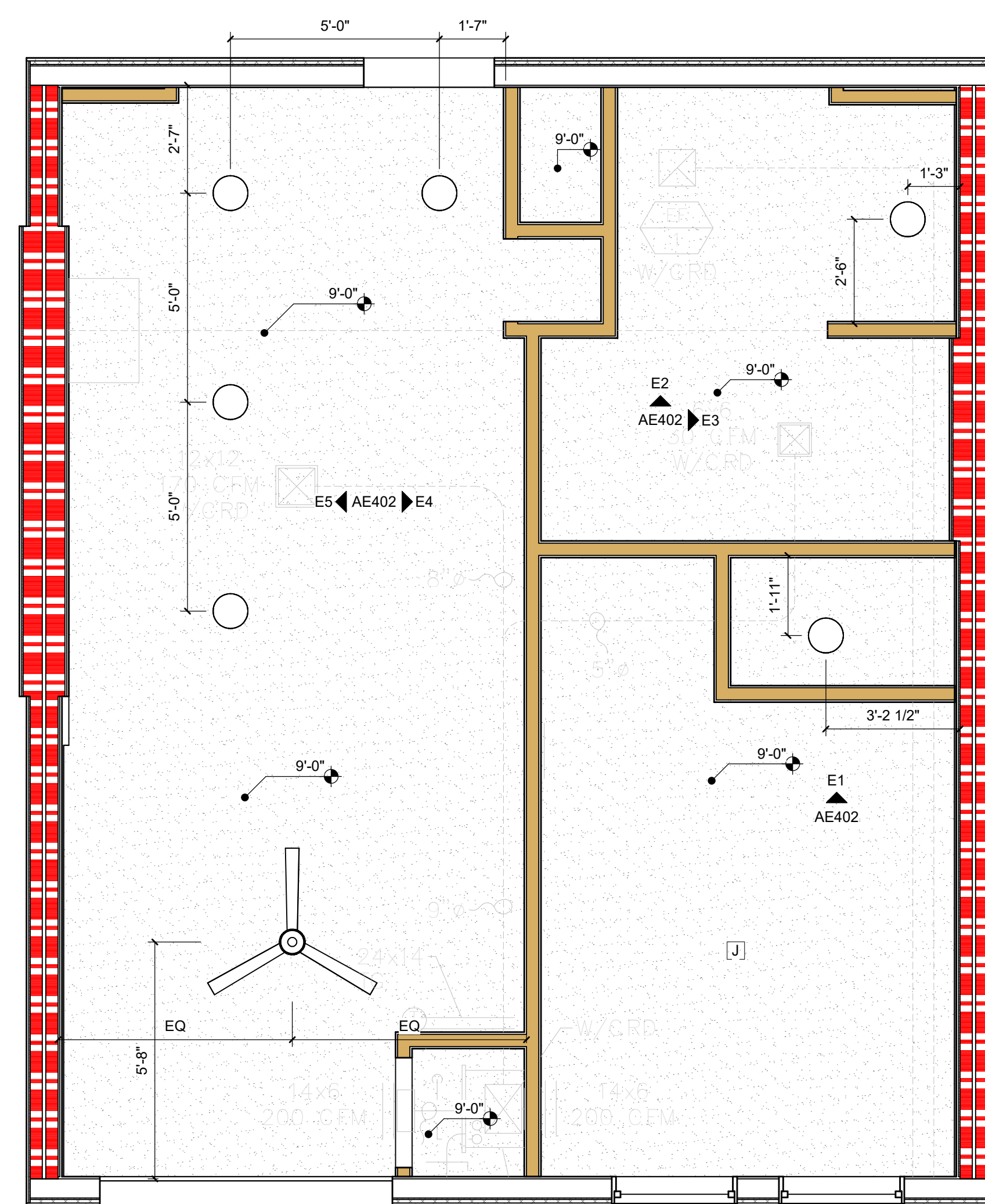
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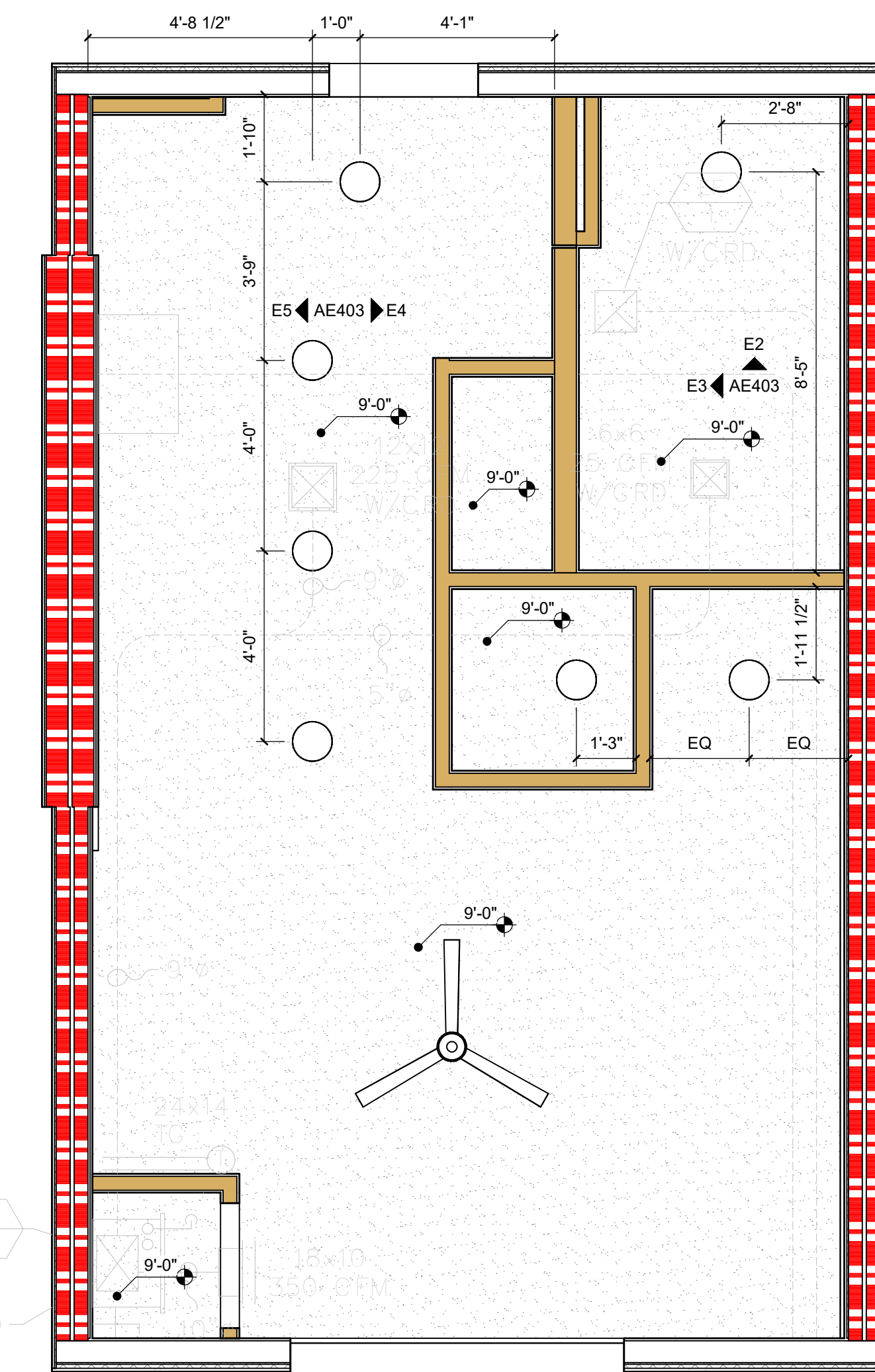
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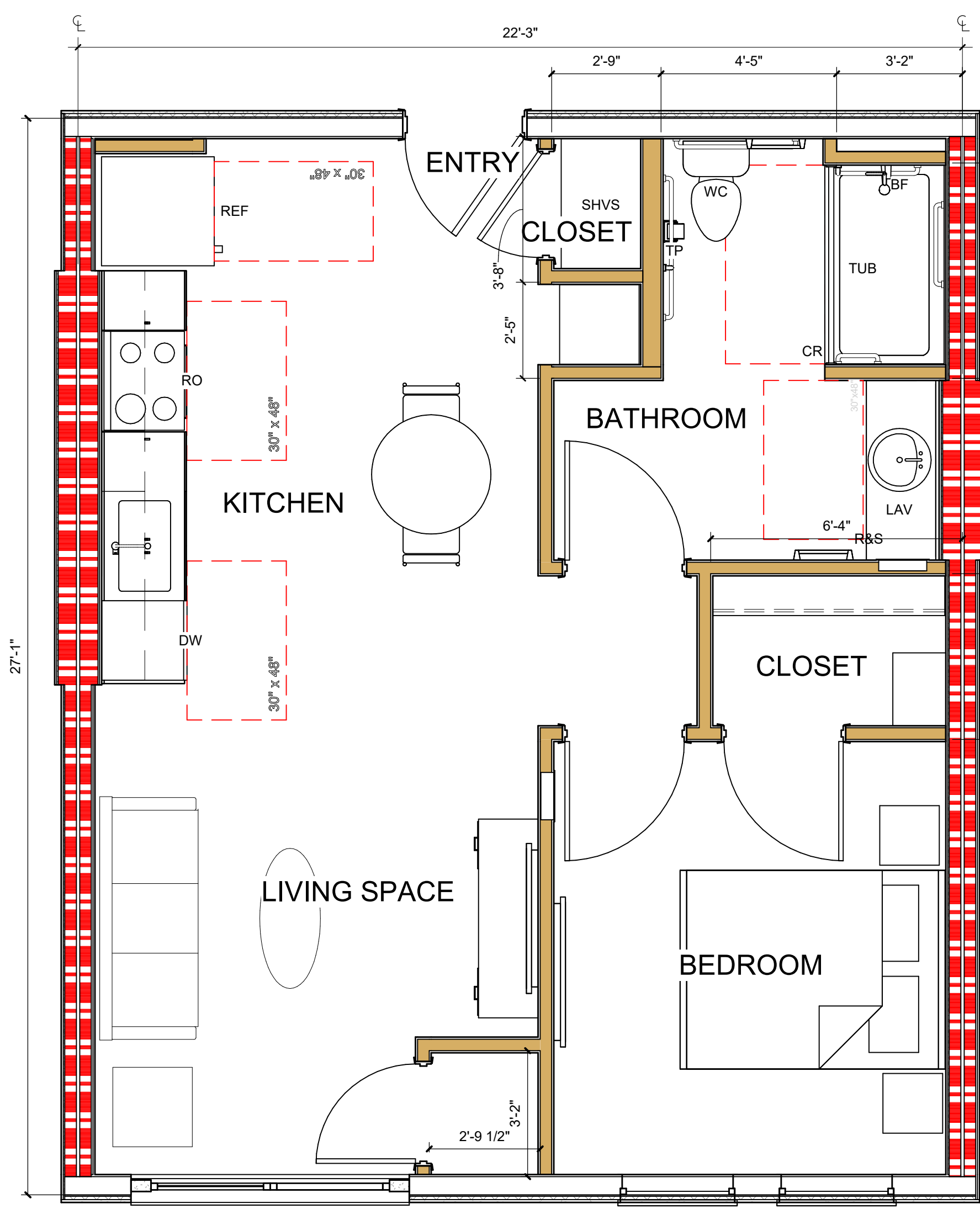
UNIT 1 "TYPE B" REFLECTED CEILING PLAN
 3/8" = 1'-0"



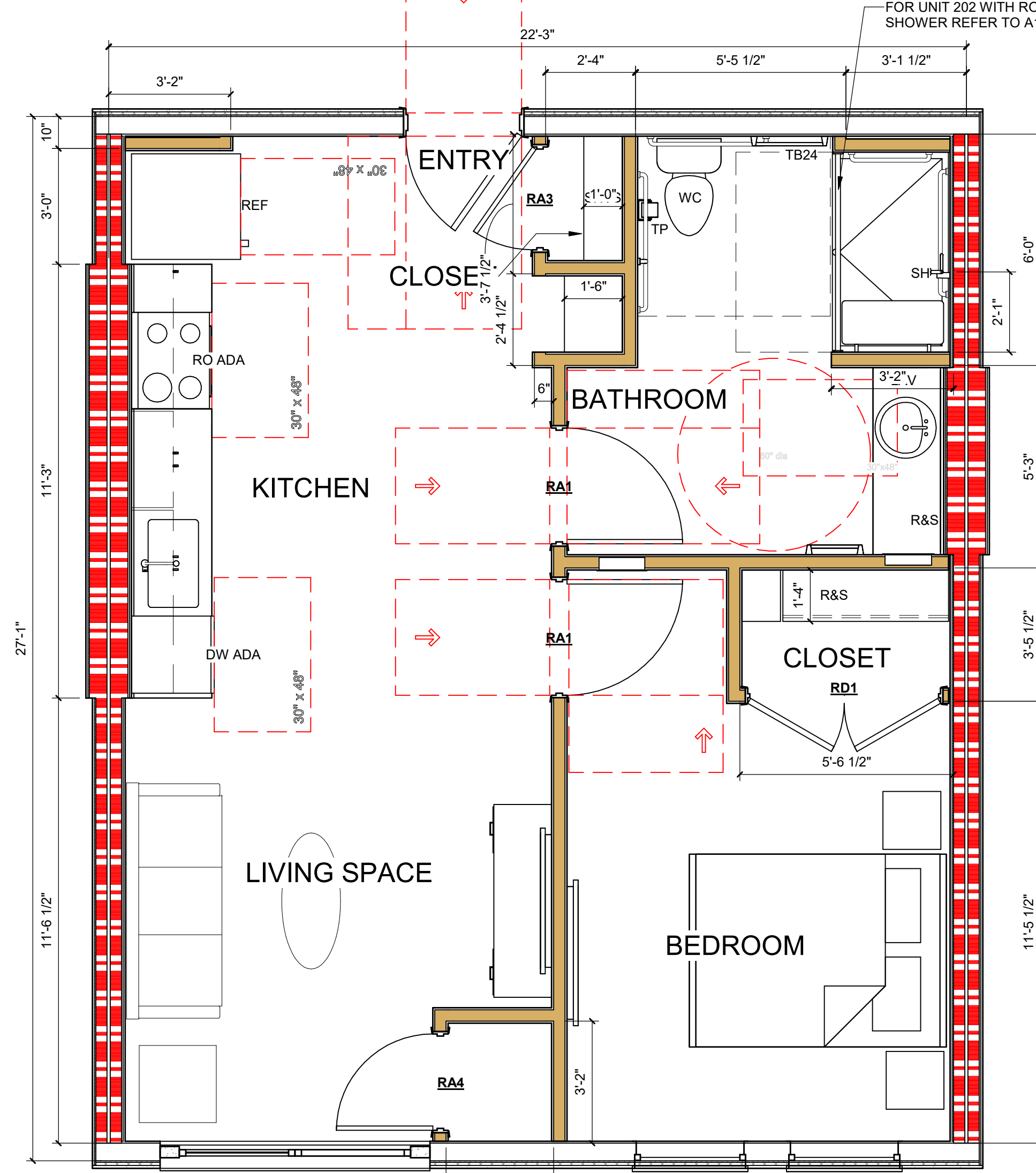
UNIT 1 "TYPE A" REFLECTED CEILING PLAN
 3/8" = 1'-0"



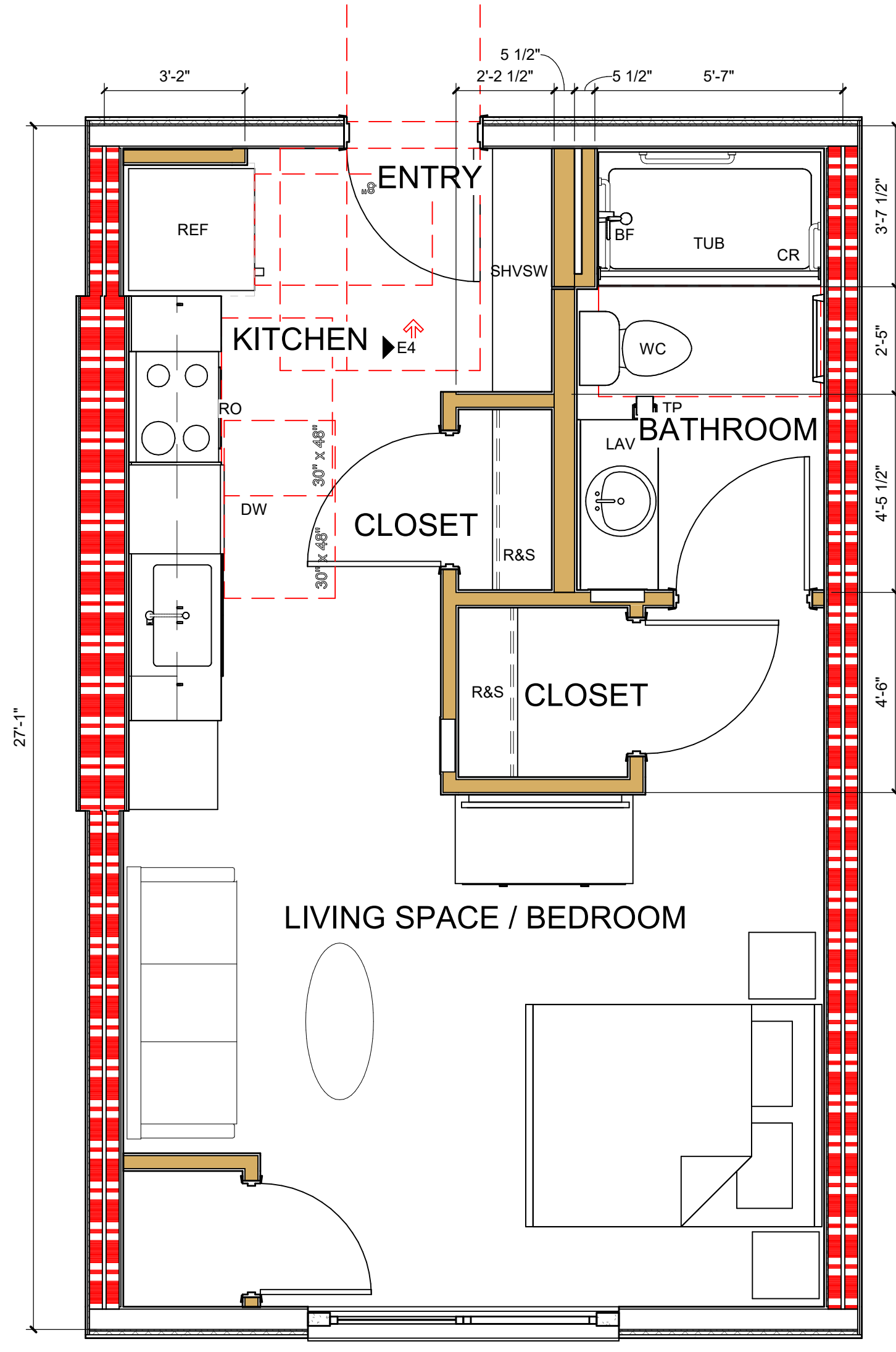
UNIT 1 "TYPE B" REFLECTED CEILING PLAN
 3/8" = 1'-0"



UNIT 1 "TYPE B" FLOOR PLAN GSF: 602
 3/8" = 1'-0"



UNIT 1 "TYPE A" FLOOR PLAN GSF: 602
 3/8" = 1'-0"



UNIT S "TYPE B" FLOOR PLAN GSF: 450
 3/8" = 1'-0"

GENERAL LEGEND	
CR	SHOWER CURTAIN ROD, MOUNTED 6'-2" ABOVE F.F.
EF	EXHAUST FAN
GE	GLASS SHOWER ENCLOSURE
GBXX	GRAB BAR PER ANSI A117.1 XX INDICATES WIDTH
MR	MIRROR
R&S	ROD & SHELF - WIRE CLOSET SHELVING; REF: A4/G1010 & A5/G1010
SHVSW	WOOD SHELVES; REF: A5/G1010, UNLESS NOTED OTHERWISE
SHVS	WIRE SHELVES; REF: B5/G1010
TB	TOWEL BAR
HTB	HAND TOWEL BAR
RBH	ROBE HOOK
TP	TOILET PAPER DISPENSER
WS	WORKSURFACE, 30" WIDE MINIMUM CLEARANCE

APPLIANCE LEGEND	
ADA DW	ADA DISHWASHER, ENERGY STAR
DW	DISHWASHER, ENERGY STAR
ADAREF	REFRIGERATOR, ENERGY STAR
REF	REFRIGERATOR, ENERGY STAR
ROADA	ADA ELECTRIC RANGE/ OVEN
RO	ELECTRIC RANGE/ OVEN
MH	30" COMBINED MICROWAVE AND EXHAUST HOOD, VENTED TO EXTERIOR
MIC	MICROWAVE (ADA) ON COUNTERTOP
RH	ADA EXHAUST HOOD, SWITCH CONTROLS ARE WITHIN REACH RANGE IN "TYPE A" UNITS

FIXTURE LEGEND	
UNITS	NOTE: REFER TO PLUMBING FIXTURE SCHEDULE FOR MANUFACTURER AND MODEL NUMBERS. SINK AND SWITCH CONTROLS ARE WITHIN REACH RANGE IN "TYPE A" UNITS
BF	BATH FAUCET
FD	FLOOR DRAIN
HS	HAND SHOWER WITH 60" HOSE AT "TYPE A" UNITS
LAV	LAVATORY
RS	ROLL-IN SHOWER, VERIFY DIMENSION PER UNIT, RE: PLUMBING
S	SINK
WC	WATER CLOSET
SH	SHOWER HEAD WITH WAND AT ALL UNITS
SHWR	SHOWER WITH PREFORMED FIBERGLASS SURROUND, VERIFY DIMENSION PER UNIT, RE: PLUMBING
R-SHWR	ROLL-IN SHOWER, VERIFY DIMENSION PER UNIT, RE: PLUMBING
SS	SHOWER SEAT
TUB	TUB & SHOWER WITH PREFORMED FIBERGLASS SURROUND, VERIFY DIMENSION PER UNIT, RE: PLUMBING

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REVIEWED BY	JAF
DATE	3/22/2024
PROJECT NO	17-0711.006
DRAWING NAME	

UNIT PLANS

SHEET NO
AE400